



SCALE: 1" = 400'

SUBMITTED: NOVEMBER 21, 2025

C0.0
L1.0

Active Recreation	2.56 Acres
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Maximum units	50%
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Attached Dwellings (40 x 100)	15 (16.1%)
Maximum Number of Lots	32

Rear Setback (minimim)	25
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Residential Primary Building(s) FFE Above sidewalk Grade Min	1.5
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3. ATTACHED DWELLING UNITS ARE ALLOWED A 0-FT SIDE SETBACK WHERE THE UNIT SHARES A COMMON WALL WITH ANOTHER DWELLING UNIT.

-- EARN NATIONAL GREEN BUILDING STANDARDS CERTIFICATIONS, OR EQUIVALENT AS

6. THE LOCATION OF ACCESS POINTS AND INTERNAL STREETS SHOWN ON THE MASTER PLAN ARE ILLUSTRATIVE, WITH FINAL LOCATIONS TO BE DETERMINED AT THE TIME OF DEVELOPMENT PLAN.

KIMLEY-HORN AND ASSOCIATES, INC
TED ELSHOF, P.E.
300 MORRIS STREET SUITE 200
DURHAM, NC 27701
PHONE: (984) 884-5725
EMAIL: TED.ELSHOF@KIMLEY-HORN.COM

BASS, NIXON & KENNEDY INC.
6310 CHAPEL HILL ROAD, SUITE 250,
RALEIGH, NC 27607
PHONE: (919) 851-1879

SHEET NUMBER
C0.0

Per Town of Holly Springs UOD Section 7.01 J.,5.,c.,(i) trees that qualify as specimen trees are in good health and not showing signs of disease, insect infestation or decay and:

- a. Over thirty inches (30") DBH for Pine species; or
b. Over twenty-four inches (24") DBH for nonPine species; or
c. For other unique or rare tree species:
(1) Flowering Dogwood – over three inches (3") DBH
(2) Eastern Redbud – over three inches (3") DBH
(3) Longleaf Pine – over twelve inches (12") DBH

NOTE:
- Where appropriate identified trees were approximately located by S&EC using a Juniper Systems GNS3 Geode Receiver Unit. As these GPS units do not provide survey grade accuracy this data should be considered approximate and used for planning purposes only. If an accurate location is required a North Carolina Professional Land Surveyor should be engaged. Engineers, designers and/or local ordinance(s) may require trees to be surveyed located by a NC Registered Professional Land Surveyor.

- The term "tree survey" as used herein is generic in nature and intended to describe the identification, measurement, and evaluation of trees under the direction of a registered forester/certified arborist as described and/or required by local development ordinance(s).

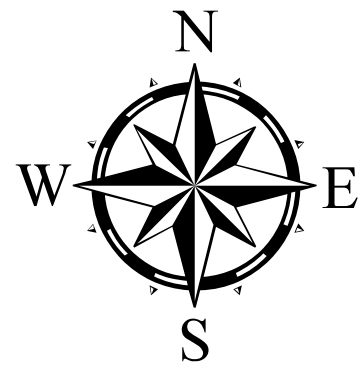
- At the current scale, not all tree location labels may be legible or show. Please refer to the CAD drawing of the locations provided to the site engineer.

Project No.
16457.W1

Project Mgr.:
SB

Scale:
1" = 100'

05/06/2025



0 100 200 400
Feet

Town of Holly Springs Tree Map

5800 Duncan Cook Road,
Holly Springs, NC

Source:

Aerials from NC OneMap



Soil & Environmental Consultants, Inc.

8412 Falls of Neuse Road, Suite 104, Raleigh, NC 27615 • Phone (919) 846-5900 • Fax (919) 846-9467
sandec.com

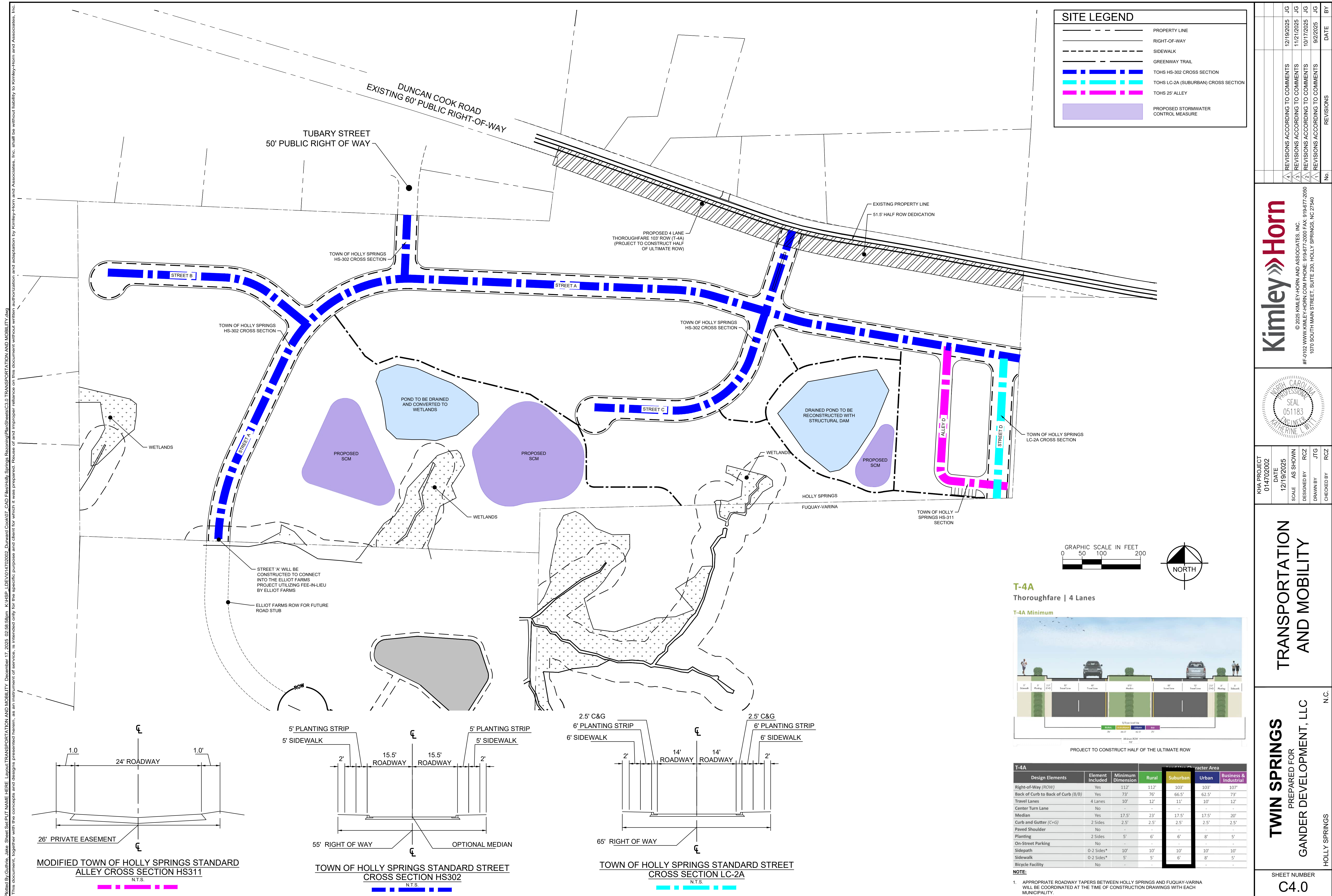
Legend

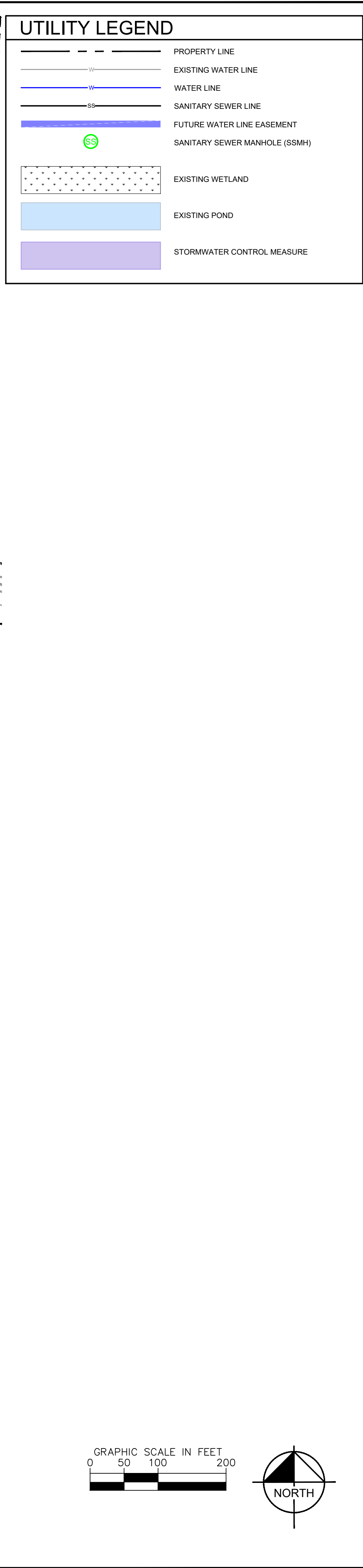
- Specimen Trees
- Trees > 3" DBH (within sample plots)
- Property Boundary
- Sample Plots

Plotted By: Guthrie, Jake Sheet Set: PUT NAME HERE Layout: MASTER PLAN December 17, 2025 02:58:46pm K:\HSP - LDEV\014702002 - Dunwood Cook\07 - CAD Files\Holly Springs Reconfig\PlanSheets\C2.0 CONCEPT PLAN.dwg
This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



KHA PROJECT 014702002		DATE 12/19/2025		SCALE AS SHOWN		DESIGNED BY RCZ		DRAWN BY JTG		CHECKED BY RCZ	
TWIN SPRINGS PREPARED FOR GANDER DEVELOPMENT, LLC		MASTER PLAN		N.C.		HOLLY SPRINGS		SHEET NUMBER C3.0		BY DATE	
REVISIONS ACCORDING TO COMMENTS		REVISIONS ACCORDING TO COMMENTS		REVISIONS ACCORDING TO COMMENTS		REVISIONS ACCORDING TO COMMENTS		REVISIONS		No.	
4		3		2		1					
12/19/2025		11/21/2025		10/17/2025		9/2/2025					
JG		JG		JG		JG					
Kimley»Horn		© 2025 KIMLEY-HORN AND ASSOCIATES, INC. #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050 1070 SOUTH MAIN STREET, SUITE 230, HOLLY SPRINGS, NC 27540		NORTH CAROLINA REGISTERED LANDSCAPE ARCHITECT 1155 ROBERT C. SUMMALLT							





Plotted By:Guthrie, Jake Sheet Set:PUT NAME HERE Layout:OVERALL GRADING AND DRAINAGE PLAN December 17, 2025 02:59:32pm K:\HSP_LDEV\014702002_Durward Cook\07_CAD Files\Holly Springs Rezone\PlanSheets\C6.0 OVERALL GRADING AND DRAINAGE PLAN.dwg
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GRADING AND DRAINAGE LEGEND

PROPERTY LINE

STORM DRAINAGE #1

STORM DRAINAGE #2

STORM DRAINAGE #3

EXISTING WETLAND

EXISTING POND

STORMWATER CONTROL MEASURE

FLOW ARROW

GRAPHIC SCALE IN FEET

0

50

100

200

NORTH

TWIN SPRINGS

PREPARED FOR

GANDER DEVELOPMENT, LLC

SHEET NUMBER

C6.0

OVERALL GRADING AND DRAINAGE PLAN

KHA PROJECT

014702002

DATE

12/19/2025

SCALE

AS SHOWN

DESIGNED BY

RCZ

DRAWN BY

JTG

CHECKED BY

RCZ

Kimley»Horn

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#F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050
1070 SOUTH MAIN STREET, SUITE 230, HOLLY SPRINGS, NC 27540

SEAL

051183

CATHERINE LUTHER

REVISIONS

REVISIONS

REVISIONS

REVISIONS

DATE

DATE

DATE

DATE

BY

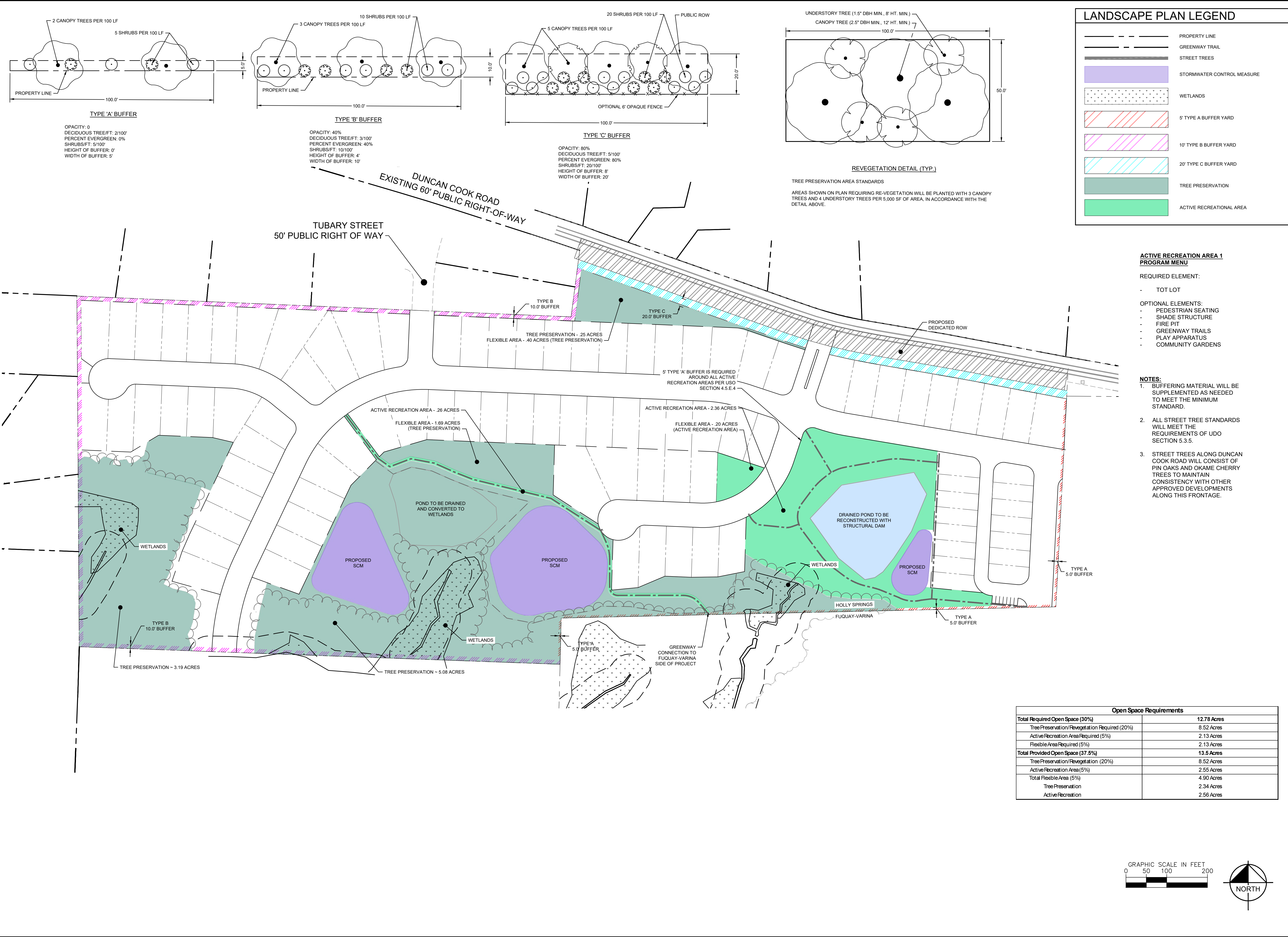
BY

BY

BY

Plotted By:Guthrie, Jake Sheet Set:PUT NAME HERE Layout:LANDSCAPE OPEN SPACE AND TREE PRESERVATION PLAN December 17, 2025 02:59:47pm K:\HSP_LDEV\014702002_DuncanCook\07_CAD File\Holly Springs Rezoning\Plan\Sheet\1.10 LANDSCAPE PLAN.dwg

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REVISIONS ACCORDING TO COMMENTS

12/19/2025

JG

REVISIONS ACCORDING TO COMMENTS

11/21/2025

JG

REVISIONS ACCORDING TO COMMENTS

10/17/2025

JG

REVISIONS ACCORDING TO COMMENTS

9/2/2025

JG

REVISIONS

DATE

BY

4

3

2

1

No.

No.

No.

No.

Kimley»Horn

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WWW.KIMLEY-HORN.COM PHONE: 919.677.2000 FAX: 919.677.2050
1070 SOUTH MAIN STREET, SUITE 230, HOLLY SPRINGS, NC 27540

1155

1155

KHA PROJECT

014702002

DATE

12/19/2025

SCALE

AS SHOWN

DESIGNED BY

RCZ

DRAWN BY

JTG

CHECKED BY

RCZ

LANDSCAPE AND

OPEN SPACE PLAN

TWIN SPRINGS

PREPARED FOR

GANDER DEVELOPMENT, LLC

HOLLY SPRINGS

N.C.

SHEET NUMBER

L1.0



REZONING PETITION

Rezoning, Comprehensive Plan Amendment, UDO Amendment
DPM Appendix #A.02 Supplement 20 September 2024

PETITION TYPE – each request must be a separate application in the Portal	
<input type="checkbox"/>	Zoning Map Change – General Use District
<input checked="" type="checkbox"/>	Zoning Map Change – Conditional Zoning District <input type="checkbox"/> Option 1 Plan: Development Plan or Subdivision Plan (Preliminary Plat) <input checked="" type="checkbox"/> Option 2 Plan: Master Plan
<input type="checkbox"/>	Comprehensive Plan Amendment <input type="checkbox"/> Text Amendment <input type="checkbox"/> Future Land Use Map Amendment <input type="checkbox"/> Small Area Plan Map Amendment
<input type="checkbox"/>	UDO Text Amendment – UDO Section:

PROJECT INFORMATION	
https://www.hollyspringsnc.gov/742/Maps	
Project Name	Twin Springs
Project Location Use street address. If none, use closest intersection	5800 & 0 Duncan Cook Road <input type="checkbox"/> Within Corporate Limits <input checked="" type="checkbox"/> Within Holly Springs ETJ <input type="checkbox"/> Pending Annexation
PIN(s)	0646474950; 0646485396
Real Estate ID	0014601; 0449235
Project Acreage	43.09 AC Partial Parcel? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Current Zoning	RR: Rural Residential
Proposed Zoning	NR CD: Neighborhood Residential Conditional District
Current Future Land Use Designation	Mixed Residential neighborhood
Proposed Future Land Use Designation	Mixed Residential neighborhood
Small Area Plan Designation (if applicable)	NA
Special Study Scoping Meeting Dates	Sewer Scoping meeting - June 19, 2025; Traffic Scoping meeting - 6/17/2025
Sketch Plan Review (pre-submittal) Meeting Date:	General inquiry meeting - November 20, 2024; Sketch Plan Review - July 17, 2025
Neighborhood Meeting Date:	July 9, 2025

CERTIFICATE OF COMPLETION	
I certify that all information presented in this petition is accurate to the best of my knowledge and belief.	
Signature of Applicant:	Date: 7/123/25



REZONING PETITION

Rezoning, Comprehensive Plan Amendment, UDO Amendment
DPM Appendix #A.02 Supplement 20 September 2024

PETITION CONTACT INFORMATION *(Attach additional sheets if needed)*

Applicant and Financially Responsible Party will need to register for an account on the Portal.

Project Applicant Check One: ☐ Owner ☐ Owner's Agent ☒ Design Professional ☐ Developer ☐ Other

Name: [Bob Zumwalt](#)

Company: [Kimley-Horn](#)

Mailing Address: [1070 S. Main Street, Suite 230](#)

City, State, Zip: [Holly Springs, NC 27540](#)

Telephone: [919-475-7314](#)

E-Mail: bob.zumwalt@kimley-horn.com

Design Professional

Name: [Same as Applicant](#)

Company:

Mailing Address:

City, State, Zip:

Telephone:

E-Mail:

Developer

Name: [Katie Hamilton](#)

Company: [Gander Development, LLC](#)

Mailing Address: [2310 South Miami Blvd. Suite 234](#)

City, State, Zip: [Durham, NC 27703](#)

Telephone: [704-796-6002](#)

E-Mail: katie@ganderdev.com

Architect

Name: [NA](#)

Company:

Mailing Address:

City, State, Zip:

Telephone:

E-Mail:

Landscape Architect

Name: [Bob Zumwalt](#)

Company: [Kimley-Horn](#)

Mailing Address: [300 S. Main Street, Suite 230](#)

City, State, Zip: [Holly Springs, NC 27540](#)

Telephone: [919-475-7314](#)

E-Mail: bob.zumwalt@kimley-horn.com

Financially Responsible Party (REQUIRED)

Name: [Katie Hamilton](#)

Company: [Gander Development, LLC](#)

Mailing Address: [2310 South Miami Blvd. Suite 234](#)

City, State, Zip: [Durham, NC 27703](#)

Telephone: [704-796-6002](#)

E-Mail: katie@ganderdev.com

Property Owner (REQUIRED)

Name: [Duncan Cook Holdings LLC](#)

Company: [Duncan Cook Holdings LLC](#)

Mailing Address: [2310 South Miami Blvd. Suite 238](#)

City, State, Zip: [Durham, NC 27703](#)

Telephone:

E-Mail: