

VICINITY MAP

SCALE: 1" = 400'

TWIN SPRINGS

5801 AND 0 DUNCAN COOK ROAD

HOLLY SPRINGS, NC 27526

PIN: 0646474950, 0646485396

HOLLY SPRINGS PROJECT #: 25-REZ-10/PLRZ202500181

CONDITIONAL DISTRICT MASTER PLAN

SUBMITTED: NOVEMBER 21, 2025

| Sheet List Table | |
|------------------|-----------------------------------|
| Sheet Number | Sheet Title |
| C0.0 | COVER SHEET |
| C1.0 | DESIGN COMMITMENTS PLAN |
| C2.0 | EXISTING CONDITIONS PLAN |
| C2.1 | TREE SURVEY |
| C3.0 | MASTER PLAN |
| C4.0 | TRANSPORTATION AND MOBILITY |
| C5.0 | OVERALL UTILITY PLAN |
| C6.0 | OVERALL GRADING AND DRAINAGE PLAN |
| L1.0 | LANDSCAPE AND OPEN SPACE PLAN |

| Site Data Table | |
|---|---|
| Pin Number | 646474950, 0646485396 |
| Current Zoning | Rural Residential (RR) & R-30 (Wake County) |
| Proposed Zoning | Neighborhood Residential Conditional District (NR-CD) |
| Current Land Use Designation | Mixed Residential Neighborhood |
| Proposed Land Use Designation | Mixed Residential Neighborhood |
| Open Space Requirements | |
| Total Required Open Space (30%) | 12.78 Acres |
| Tree Preservation/Revegetation Required (20%) | 8.52 Acres |
| Active Recreation Area Required (5%) | 2.13 Acres |
| Flexible Area Required (5%) | 2.13 Acres |
| Total Provided Open Space (37.5%) | 13.5 Acres |
| Tree Preservation/Revegetation (20%) | 8.52 Acres |
| Active Recreation Area (5%) | 2.55 Acres |
| Total Flexible Area (5%) | 4.90 Acres |
| Tree Preservation | 2.34 Acres |
| Active Recreation | 2.56 Acres |

| Development Intensity | |
|---|-----------------|
| Development Density | |
| Gross Site Area (acres) | |
| Gross Site Area (acres) | 44.10 |
| Right-of-Way Dedication (acres) | 1.47 |
| Net Site Area (acres) | |
| Net Site Area (acres) | 42.63 |
| Maximum Number of Lots | |
| Maximum Number of Lots | 98 |
| Maximum Gross Density (units/acre) | |
| Maximum Gross Density (units/acre) | 2.30 |
| Attached Dwelling | |
| Minimum units | 10% |
| Maximum units | 50% |
| Lot Breakdown | |
| Minimum number of Lots by Type | |
| Detached Single-Family Lots (60' x 120') | 78 (83.9%) |
| Attached Dwellings (40' x 100') | 15 (16.1%) |
| Maximum Number of Lots | |
| Maximum Number of Lots | 93 |
| Building Placement | |
| Primary Building Setbacks (ft) | |
| Attached Dwelling (Rear Alley Access) | |
| Minimum Lot Area (sf) | NA |
| Minimum Lot Width (ft) | 24 |
| Front Setback (minimum) | 10 |
| Side-Corner Setback (minimum) | 8 |
| Side-Interior Setback (minimum) (see note 3 below) | 5 |
| Rear Setback from Edge of ROW (minimum) | 20 |
| Detached Dwelling (Front Access) | |
| Minimum Lot Area (sf) | Average > 5,000 |
| Minimum Lot Width (ft) | 55 |
| Front Setback | 15 |
| Garage Front Setback (minimum) | 25 |
| Side-Corner Setback (minimum) | 8 |
| Side-Interior Setback (minimum) (see note 3 below) | 5 |
| Rear Setback (minimum) | 25 |
| Building Height | |
| Primary Structure(s) (maximum) | |
| Accessory Structure(s) (maximum) | |
| Residential Primary Building(s) FFE Above Sidewalk Grade Min* | 1.5 |

NOTES:

1. SLAB ON GRADE CONSTRUCTION IS PROHIBITED FOR SINGLE FAMILY RESIDENTIAL HOMES. ALL HOMES MUST BE TURN-DOWN SLAB, CRAWL SPACE, OR BASEMENT. FOUNDATION HEIGHT REQUIREMENTS SHALL BE APPLIED TO THE STREET FACING FAÇADE'S FOUNDATION AND SHALL EXCLUDE GARAGE ENTRIES AS BY THEIR FUNCTION GARAGES MUST BE ENTERED AT GRADE.
2. FOUNDATION HEIGHT IS THE DIFFERENCE BETWEEN THE FINISHED FLOOR ELEVATION AND AVERAGE FINISHED GRADE ALONG STREET FACING BUILDING ELEVATION/FAÇADE.
3. ATTACHED DWELLING UNITS ARE ALLOWED A 0-FT SIDE SETBACK WHERE THE UNIT SHARES A COMMON WALL WITH ANOTHER DWELLING UNIT.

TWIN SPRINGS

COVER SHEET

PREPARED FOR
GANDER DEVELOPMENT, LLC
HOLLY SPRINGS
SHEET NUMBER
C0.0

Kimley-Horn
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#F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2200 FAX: 919-677-2050
1070 SOUTH MAIN STREET, SUITE 230, HOLLY SPRINGS, NC 27540

| | |
|-------------|------------|
| KHA PROJECT | 014702002 |
| DATE | 12/19/2025 |
| SCALE | AS SHOWN |
| DESIGNED BY | RCZ |
| DRAWN BY | JTG |
| CHECKED BY | RCZ |

1155
CAROLINA
LANDSCAPE
ZUMWALT
REGISTERED
LIBRARY
C.

| PROJECT OWNERS & CONSULTANTS | | |
|---|--|-----------------------|
| OWNER/DEVELOPER | LAND PLANNING/CIVIL ENGINEER | PUMP STATION DESIGNER |
| GANDER DEVELOPMENT, LLC KATIE HAMILTON 2310 SOUTH MIAMI BOULEVARD, SUITE 234 DURHAM, NC 27703 PHONE: (704) 796-1892 EMAIL: KATIE@GANDERDEV.COM | TRAFFIC/LANDSCAPE ARCHITECTURE KIMLEY-HORN AND ASSOCIATES, INC. KATIE WITT, P.E., BOB ZUMWALT, PLA 1070 SOUTH MAIN STREET, SUITE 230 HOLLY SPRINGS, NC 27540 PHONE: (919) 275-3559 EMAIL: KATIE.WITT@KIMLEY-HORN.COM | |
| LAND USE ATTORNEY | SURVEYOR | |
| ADCOCK LAW FIRM, P.A. JOHN B. ADCOCK ESQ. 202 E. ACADEMY STREET FUQUAY-VARINA, NC 27526 PHONE: (919) 552-6600 EMAIL: JOHN@ADCOCKLAWFIRM.COM | BASS, NIXON & KENNEDY INC. 6310 CHAPEL HILL ROAD, SUITE 250 RALEIGH, NC 27607 PHONE: (919) 851-1879 | |

| UTILITY ALLOCATION ELEMENTS: | |
|---------------------------------------|---|
| 1. OPEN SPACE/TREE PRESERVATION | -- PRESERVATION OF AT LEAST 10% OF SPECIMEN TREES ON SITE |
| 2. PUBLIC INFRASTRUCTURE IMPROVEMENTS | -- VEGETATED WETLAND IN LIEU OF WET PONDS |
| 3. SUSTAINABLE DESIGN | -- INCLUDE STORMWATER CONTROL DEVICES WITHIN PARKING LOT ISLANDS -- EARN NATIONAL GREEN BUILDING STANDARDS CERTIFICATIONS, OR EQUIVALENT AS DETERMINED BY DIRECTOR |

| GENERAL NOTES: | |
|----------------|---|
| 1. | SIDEWALKS, GREENWAY MULTI-USE PATHS, AND PEDESTRIAN CONNECTIONS SHOWN ON THIS PLAN ARE APPROXIMATE. AT THE TIME OF DEVELOPMENT PLAN REVIEW, THE LOCATION AND DESIGN OF SUCH FEATURES SHALL COMPLY WITH THE APPLICABLE STANDARDS OF THE HOLLY SPRINGS UDO AND OTHER APPLICABLE LAWS, STANDARDS, POLICIES AND GUIDELINES. |
| 2. | EXCEPT AS OTHERWISE DESCRIBED OR PERMITTED IN THIS MASTER PLAN, DEVELOPMENT ON THIS SITE SHALL COMPLY WITH ALL THE REQUIREMENTS OF THE TOWN OF HOLLY SPRINGS UDO, ALL OF WHICH SHALL CONSTITUTE THE ZONING REGULATIONS FOR THE APPROVED DISTRICT AND ARE BINDING ON THE PROPERTY. |
| 3. | ALL MODIFICATIONS TO MASTER PLAN SHALL BE APPROVED IN ACCORDANCE WITH UDO SECTION 11.16. |
| 4. | BOUNDARY SHOWN PER SURVEY BY BASS, NIXON & KENNEDY. |
| 5. | TREE SURVEY SHOWN PER SURVEY BY S&E C. |
| 6. | THE LOCATION OF ACCESS POINTS AND INTERNAL STREETS SHOWN ON THE MASTER PLAN ARE ILLUSTRATIVE, WITH FINAL LOCATIONS TO BE DETERMINED AT THE TIME OF DEVELOPMENT PLAN. |

ARCHITECTURAL COMMITMENTS:

ROOFING:

1. MATERIAL: ALL ROOFS ON PRIMARY FAÇADES SHALL UTILIZE ASPHALT SHINGLES WITH SECONDARY MATERIALS INCLUDING ASPHALT SHINGLES, STANDING SEAM METAL, FAUX SLATE, OR SHAKES OR A COMBINATION THEREOF.
2. STRUCTURE: ALL PRIMARY DETACHED RESIDENTIAL ROOFS SHALL INCLUDE A MINIMUM OF 12" EAVES.
3. CHARACTER ELEMENTS: STREET AND ACTIVE OPEN SPACE FACING ROOFS ON PRIMARY FAÇADES SHALL INCORPORATE ONE (1) OF THE FOLLOWING CHARACTER ELEMENTS:
 - TWO(2) OR MORE DORMERS
 - REVERSE GABLE
 - HIP ROOF
 - CHIMNEY
 - CHANGE IN ROOFLINE DIRECTION OR HEIGHT
 - HORIZONTAL OR VERTICAL SHIFT IN ROOF PLANE

FAÇADES:

1. FOUNDATIONS: ALL EXPOSED STREET FACING AND ACTIVE OPEN SPACE FACING FOUNDATIONS SHALL BE CLAD IN A TYPE 1 MATERIAL AS FOUND IN UDO 8.2.F.2.a.i. PORCHES AND STOOPS SHALL EITHER BE CLAD IN A MATERIAL MATCHING THE PRIMARY STRUCTURE'S FOUNDATION OR IN A MATERIAL MATCHING THE PORCHES COLUMNS, POSTS, AND/OR RAILINGS.
2. SIDING: ALL STREET AND ACTIVE OPEN SPACE FACING FAÇADES SHALL UTILIZE TYPE 1 OR TYPE 2 MATERIALS OR A COMBINATION THEREOF AS FOUND IN UDO 8.2.F.2.a.
3. FENESTRATION: ALL STREET AND ACTIVE OPEN SPACE FACING ELEVATIONS SHALL INCLUDE TWO(2) OF THE FOLLOWING:
 - EXTRUDED WINDOW BOX (EX. BAY WINDOW)
 - RECESSED WINDOW
 - SHUTTERS
 - DARK HUED WINDOW TRIM
 - DECORATIVE SILLS & LINTELS 4" OR MORE IN HEIGHT
 - WINDOW PLANTER BOXES ON GROUND FLOOR WINDOWS
4. ENTRYWAYS: ENTRIES SHALL INCORPORATE EITHER A PORCH OR COVERED STOOP WITH A MINIMUM AREA OF 30 SQ. FT.
 - 4.1. FRONT DOORS SHALL INCLUDE ONE OF THE FOLLOWING:
 - SIDELIGHT WINDOW(S) (WINDOW BESIDE DOOR)
 - TRANSOM WINDOW(S) (WINDOW ABOVE DOOR)
 - WINDOW WITHIN DOOR
 - STORM DOOR
 - 4.2. GARAGE DOORS SHALL INCLUDE:
 - WINDOWS IN UPPER PANELS
 - CARRIAGE STYLE HARDWARE (STRAPS & HANDLES)
 - DECORATIVE LIGHT FIXTURES

ANTI-MONOTONY COMMITMENT:

1. WHERE DETACHED DWELLINGS SHARE A SIDE LOT LINE OR ARE DIRECTLY ACROSS A PUBLIC RIGHT-OF-WAY FROM EACH OTHER, THEY SHALL UTILIZE DIFFERENT PRIMARY FAÇADE COLORS, FRONT DOOR OPTIONS AND FENESTRATION OPTIONS AS OUTLINED ABOVE.
2. WHERE ATTACHED DWELLINGS (GREATER THAN 2-UNIT BUILDINGS) SHARE A SIDE LOT LINE OR ARE DIRECTLY ACROSS A PUBLIC RIGHT-OF-WAY FROM EACH OTHER, THEY SHALL UTILIZE DIFFERENT PRIMARY FAÇADE COLORS, FRONT DOOR OPTIONS AND FENESTRATION OPTIONS AS OUTLINED ABOVE.

LAYOUT & EV COMMITMENTS:

ACCESSORY DWELLING UNITS:

HOA COVENANTS SHALL NOT RESTRICT ACCESSORY DWELLING UNITS (ADUs)

ELECTRIC VEHICLE INFRASTRUCTURE:

ALL RESIDENTIAL UNIT GARAGES SHALL BE WIRED WITH 240-VOLT POWER TO ALLOW FOR CHARGING OF ELECTRIC VEHICLES.

LOT LANDSCAPING:

EACH NEW LOT MUST PROVIDE 1 TREE/5,000 SQ. FT. PER UDO SECTION 5.2.2.F.

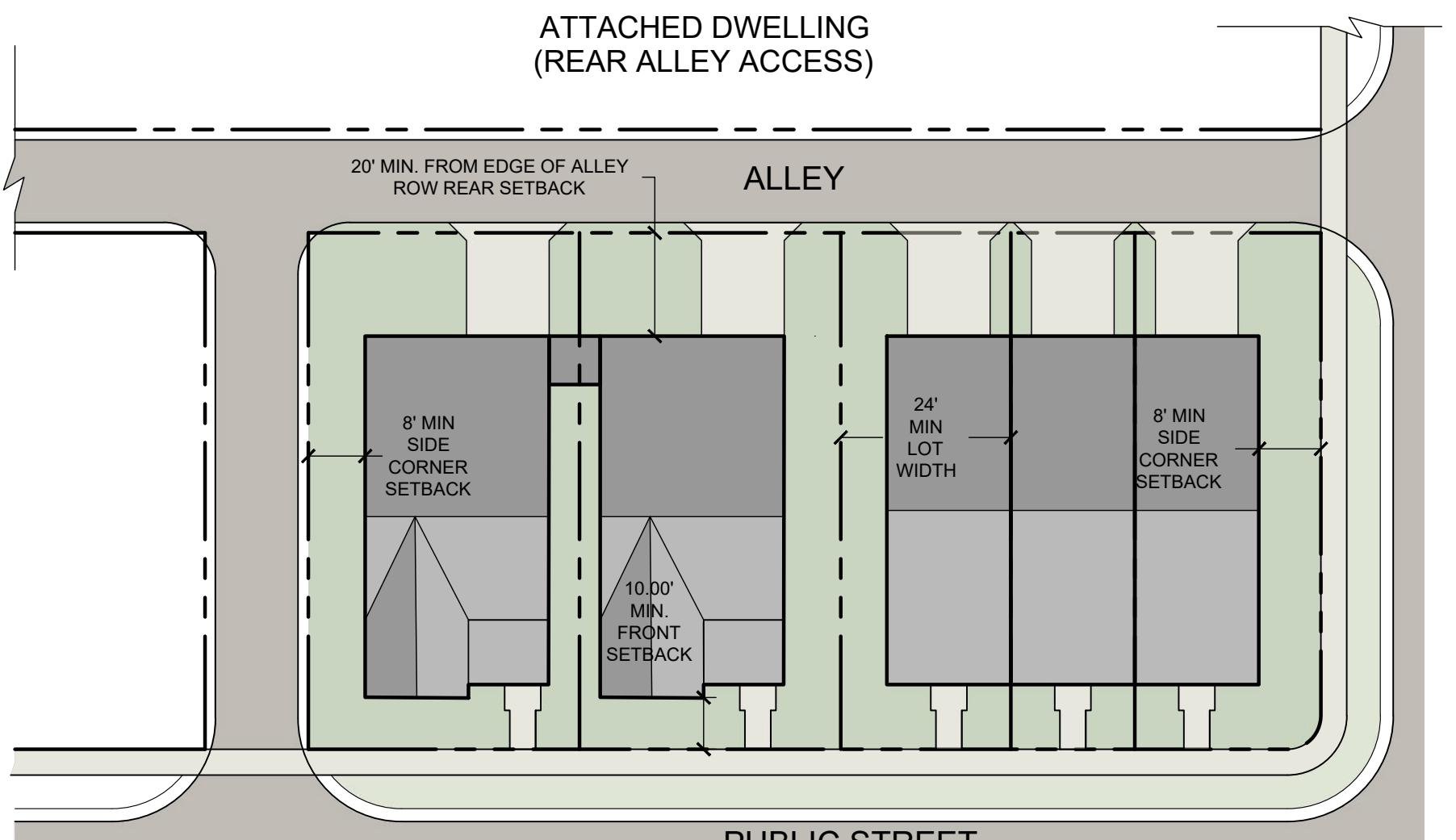
| BUFFER PERFORMANCE | | |
|---------------------------------------|---------------------|----------------------------|
| PROPERTY LINE | UDO REQUIRED BUFFER | CD PROPOSED |
| DUNCAN COOK FRONTAGE | 5' TYPE A BUFFER | 20' TYPE C BUFFER |
| ALL OTHER PROPERTY LINES | 5' TYPE A BUFFER | 5' TYPE A BUFFER |
| OPEN SPACE PERFORMANCE | | |
| OPEN SPACE TYPOLOGY | UDO REQUIRED AMOUNT | CD PROPOSED |
| OPEN SPACE TOTAL | 12.78 ACRES = 30% | 13.45 ACRES = 31.6% |
| TREE PRESERVATION + REVEGETATION | 8.52 ACRES = 20% | 8.52 ACRES = 20% |
| RECREATIONAL OPEN SPACE | 2.13 ACRES = 5% | 2.13 ACRES = 5% |
| FLEXIBLE OPEN SPACE | 2.13 ACRES = 5% | 2.13 ACRES = 5% |
| SETBACKS ALLEY LOADED | | |
| BUILDING SETBACKS | UDO REQUIRED | CD PROPOSED |
| FRONT SETBACK (MINIMUM) | 5' | 10' |
| SIDE-CORNER SETBACK (MINIMUM) | 5' | 8' |
| SIDE-INTERIOR SETBACK (MINIMUM) | 5' | 5' |
| SIDE-ATTACHED | 0' | 0' |
| REAR SETBACK FROM ALLEY ROW (MINIMUM) | 15' FROM CENTER | 20' FROM EDGE OF ALLEY ROW |

| SETBACKS FRONT LOADED | | |
|---------------------------------|--------------|-------------|
| BUILDING SETBACKS | UDO REQUIRED | CD PROPOSED |
| FRONT SETBACK (MINIMUM) | 5' | 10' |
| FRONT SETBACK (MINIMUM) | N/A | 15' |
| SIDE-CORNER SETBACK (MINIMUM) | 5' | 8' |
| SIDE-INTERIOR SETBACK (MINIMUM) | 5' | 5' |
| REAR SETBACK (MINIMUM) | 25' | 25' |

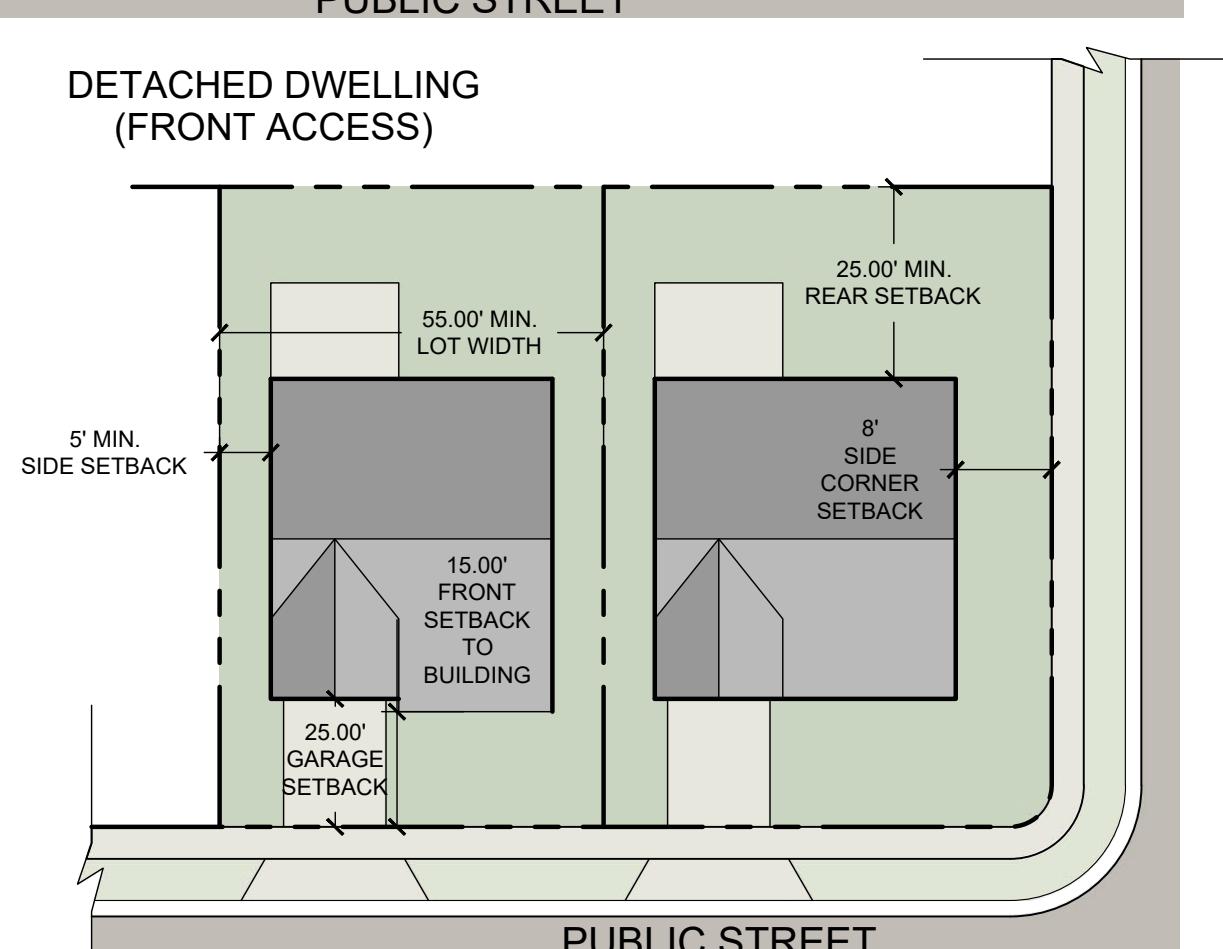
| MINIMUM LOT WIDTH AT SETBACK LINE | | |
|-----------------------------------|--------------|-------------|
| DWELLING TYPE | UDO REQUIRED | CD PROPOSED |
| DETACHED DWELLING (MINIMUM) | 26' | 55' |
| ATTACHED DWELLING (MINIMUM) | 18' | 24' |

GRAPHIC COMMITMENTS:

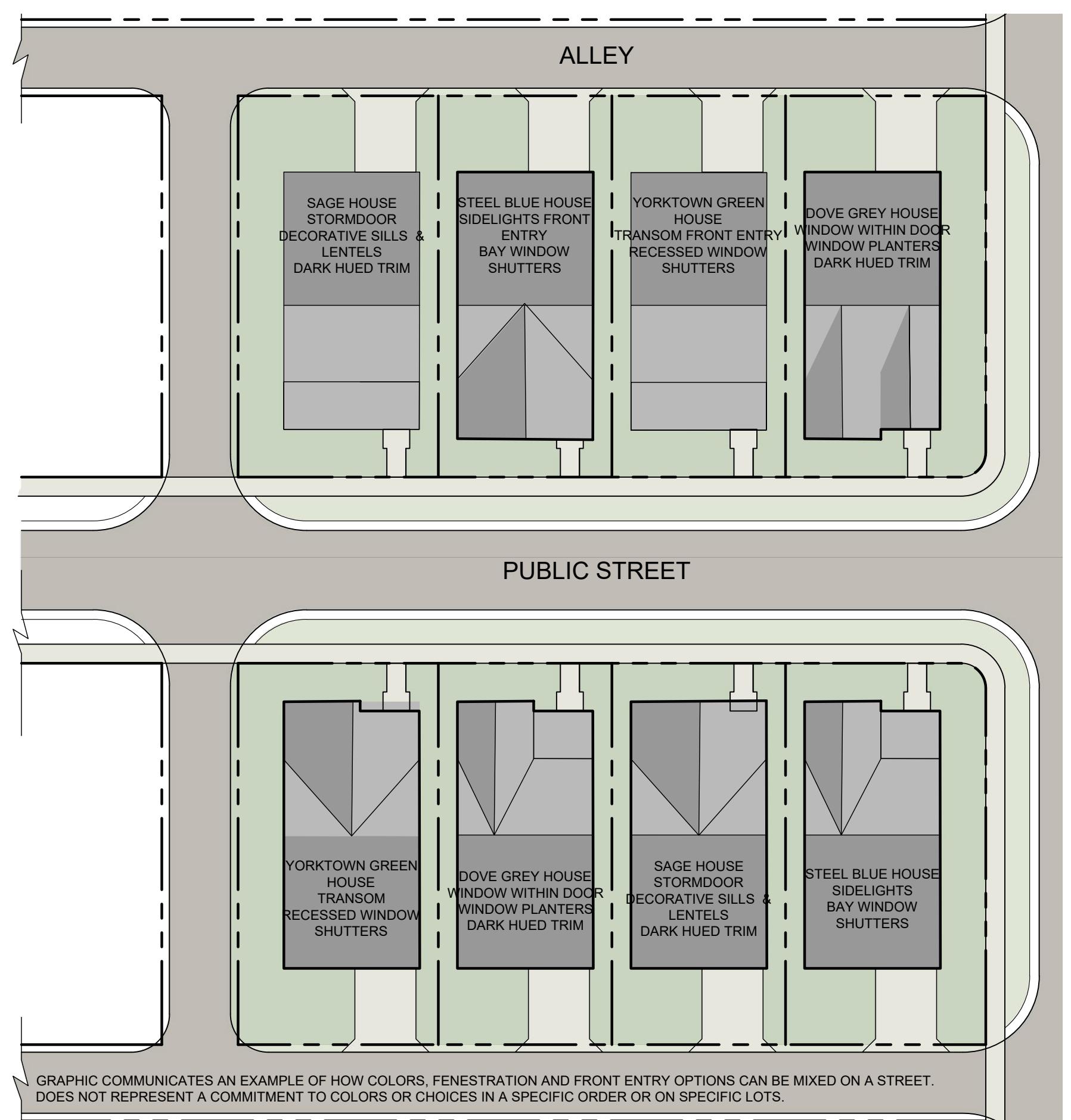
SETBACKS:



DETACHED DWELLING (FRONT ACCESS)



ANTI-MONOTONY:



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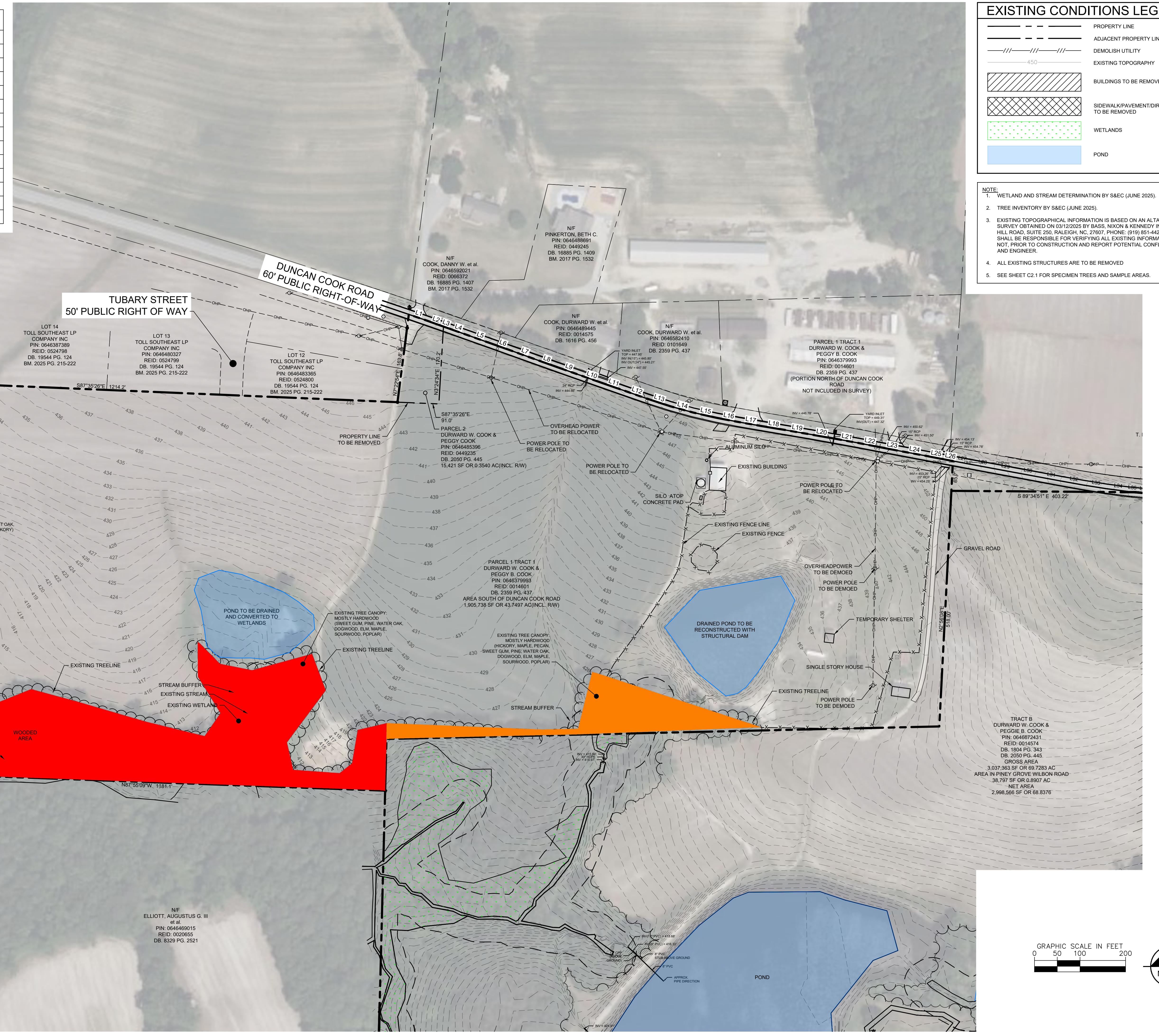
DESIGN COMMITMENTS PLAN

TWIN SPRINGS
PREPARED FOR
GANDER DEVELOPMENT, LLC

HOLLY SPRINGS
SHEET NUMBER
C1.0

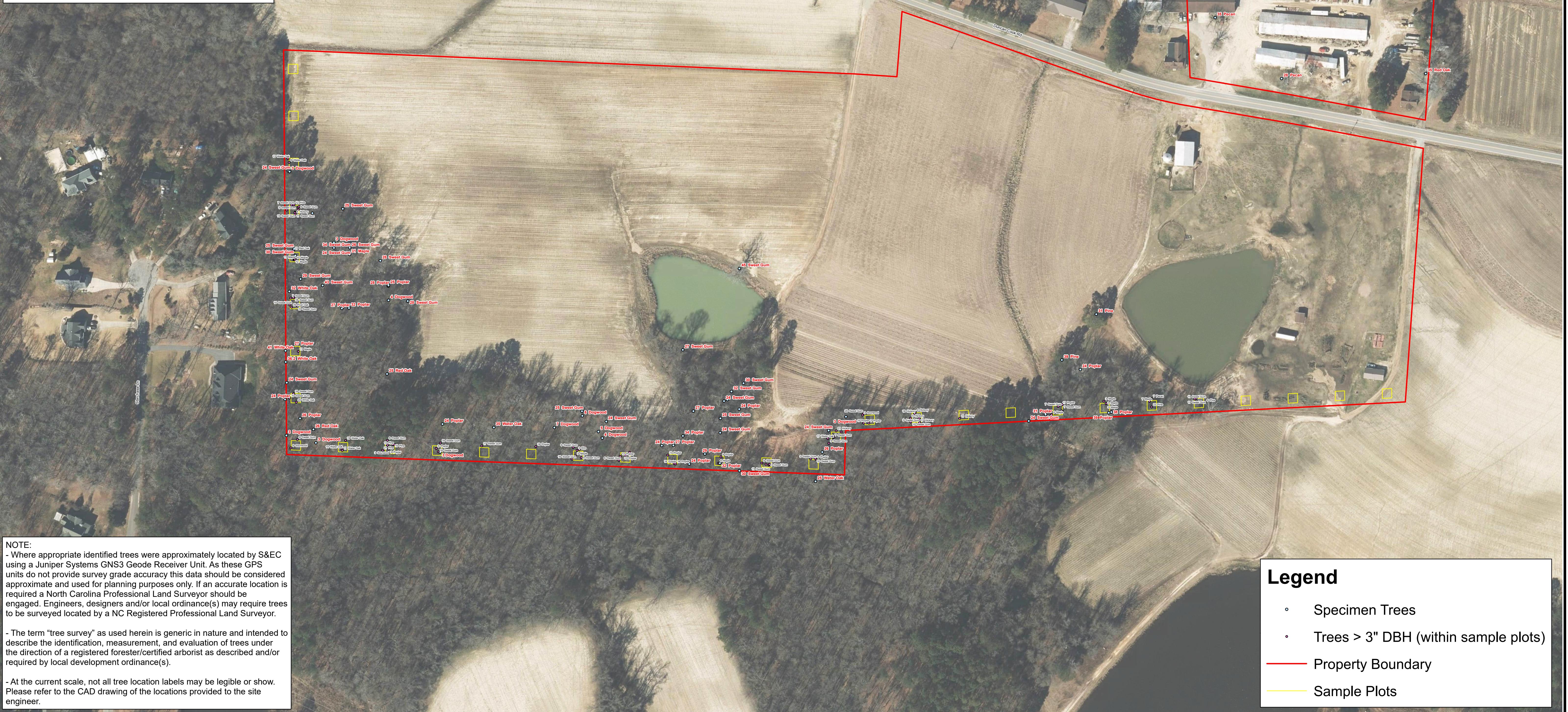
| | | |
|------------------------------------|------------|---------|
| 1. REVISIONS ACCORDING TO COMMENTS | 12/19/2025 | IG |
| 3. REVISIONS ACCORDING TO COMMENTS | 11/2/2025 | JG |
| 2. REVISIONS ACCORDING TO COMMENTS | 10/17/2025 | JG |
| 1. REVISIONS ACCORDING TO COMMENTS | 9/2/2025 | JG |
| No. | REVISIONS | DATE BY |

| LINE TABLE | | LINE TABLE | | | |
|------------|--------|----------------|------|--------|----------------|
| LINE | LENGTH | BEARING | LINE | LENGTH | BEARING |
| L1 | 39.07 | S70°55'20.07"E | L14 | 51.25 | S74°37'43.04"E |
| L2 | 41.57 | S70°19'21.22"E | L15 | 52.85 | S77°19'40.77"E |
| L3 | 6.40 | S70°19'21.22"E | L16 | 50.22 | S79°12'22.54"E |
| L4 | 51.08 | S70°23'25.27"E | L17 | 50.81 | S80°02'40.54"E |
| L5 | 53.16 | S70°29'03.13"E | L18 | 51.39 | S80°29'45.33"E |
| L6 | 50.95 | S70°21'40.62"E | L19 | 54.31 | S80°07'41.15"E |
| L7 | 51.11 | S70°12'09.60"E | L20 | 55.67 | S80°04'18.60"E |
| L8 | 51.20 | S70°22'09.16"E | L21 | 51.48 | S79°38'54.86"E |
| L9 | 53.33 | S70°33'12.02"E | L22 | 51.62 | S79°02'48.68"E |
| L10 | 52.00 | S70°35'54.10"E | L23 | 50.92 | S79°06'34.63"E |
| L11 | 53.30 | S70°50'11.59"E | L24 | 47.66 | S79°31'16.10"E |
| L12 | 51.62 | S70°39'38.22"E | L25 | 49.72 | S79°10'40.04"E |
| L13 | 54.44 | S71°54'15.63"E | L26 | 13.92 | S79°22'53.25"E |



Per Town of Holly Springs UOD Section 7.01 J.,5.,c.,(i) trees that qualify as specimen trees are in good health and not showing signs of disease, insect infestation or decay and:

- Over thirty inches (30") DBH for Pine species; or
- Over twenty-four inches (24") DBH for nonPine species; or
- For other unique or rare tree species:
 - Flowering Dogwood – over three inches (3") DBH
 - Eastern Redbud – over three inches (3") DBH
 - Longleaf Pine – over twelve inches (12") DBH



NOTE:
- Where appropriate identified trees were approximately located by S&EC using a Juniper Systems GNS3 Geode Receiver Unit. As these GPS units do not provide survey grade accuracy this data should be considered approximate and used for planning purposes only. If an accurate location is required a North Carolina Professional Land Surveyor should be engaged. Engineers, designers and/or local ordinance(s) may require trees to be surveyed located by a NC Registered Professional Land Surveyor.

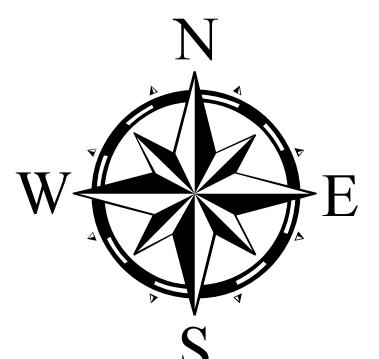
- The term "tree survey" as used herein is generic in nature and intended to describe the identification, measurement, and evaluation of trees under the direction of a registered forester/certified arborist as described and/or required by local development ordinance(s).

- At the current scale, not all tree location labels may be legible or show. Please refer to the CAD drawing of the locations provided to the site engineer.

Legend

- Specimen Trees
- Trees > 3" DBH (within sample plots)
- Property Boundary
- Sample Plots

Project No.
16457.W1



0 100 200 400
Feet

Project Mgr.:
SB

Scale:
1" = 100'

05/06/2025

Town of Holly Springs Tree Map

5800 Duncan Cook Road,
Holly Springs, NC

Source:

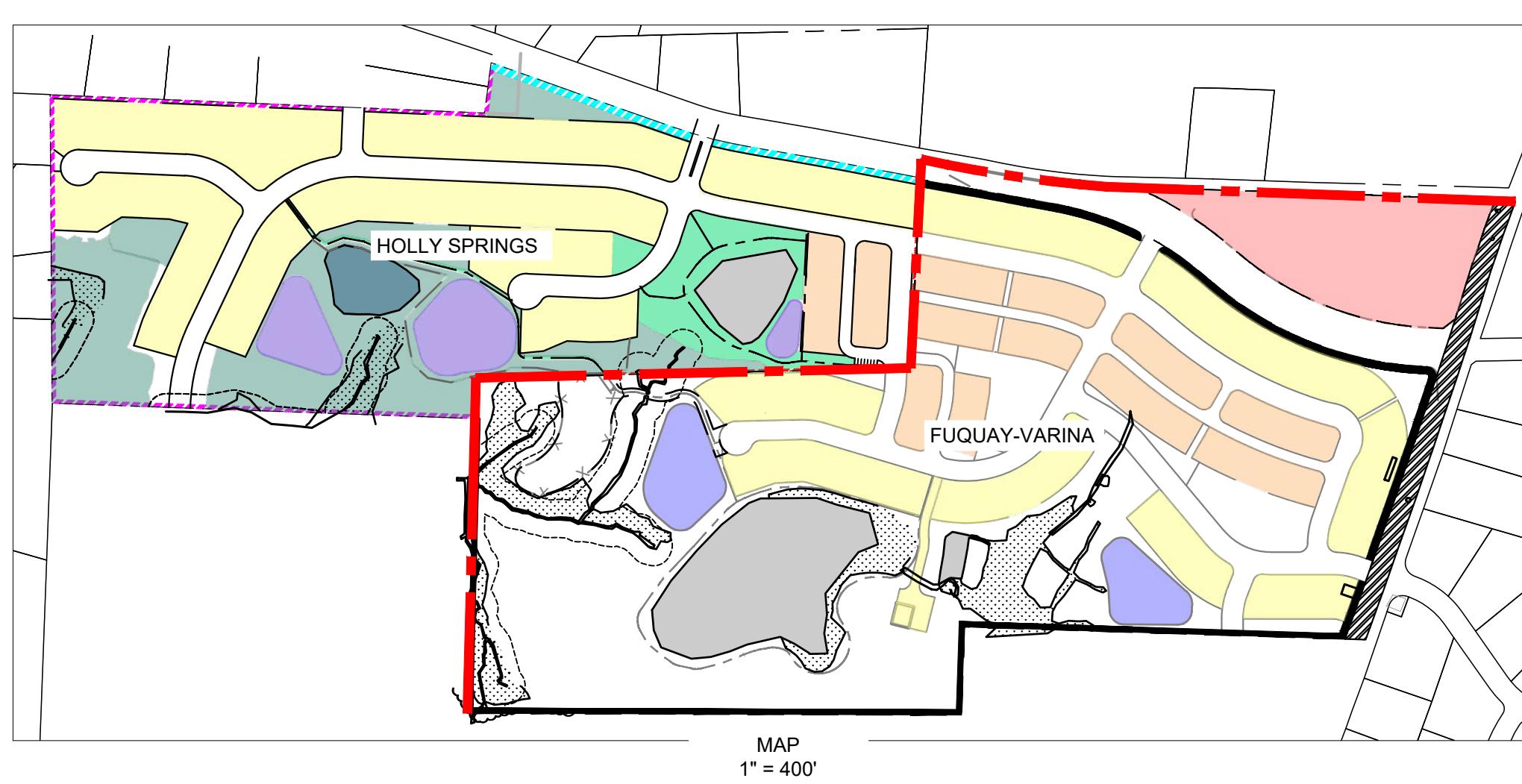
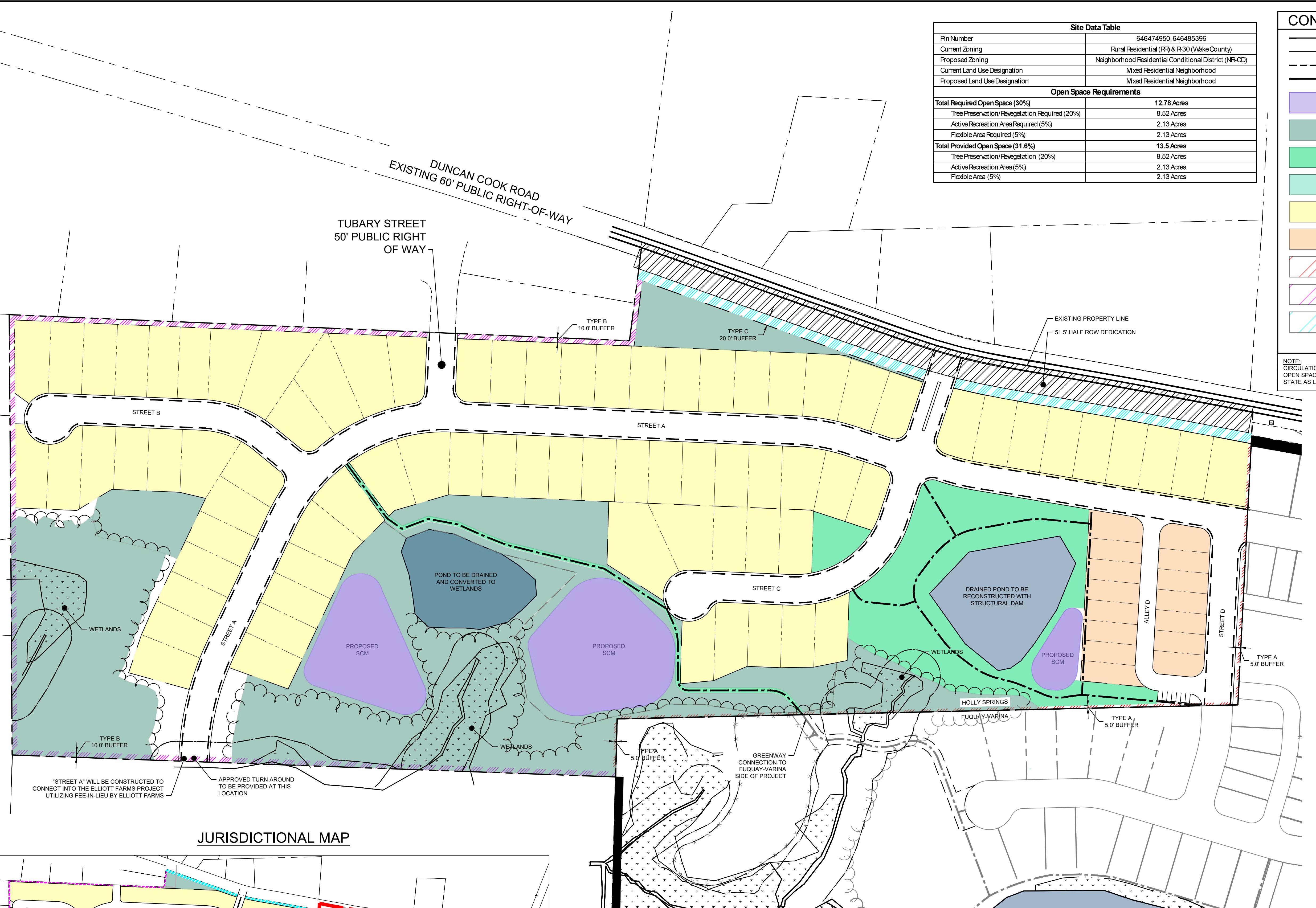
Aerials from NC OneMap



Soil & Environmental Consultants, Inc.

8412 Falls of Neuse Road, Suite 104, Raleigh, NC 27615 • Phone (919) 846-5900 • Fax (919) 846-9467
sandec.com

NC Center for Geographic Information & Analysis



| Site Data Table | |
|---|---|
| Pin Number | 646474950, 646485396 |
| Current Zoning | Rural Residential (RR) & R30 (Lake County) |
| Proposed Zoning | Neighborhood Residential Conditional District (NR-CD) |
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| Tree Preservation/Revegetation (20%) | 8.52 Acres |
| Active Recreation Area (5%) | 2.13 Acres |
| Flexible Area (5%) | 2.13 Acres |

| CONCEPT PLAN LEGEND | |
|--------------------------|---|
| ----- | PROPERTY LINE |
| ----- | RIGHT-OF-WAY |
| ----- | SIDEWALK |
| ----- | GREENWAY TRAIL |
| Light Blue | STORMWATER CONTROL MEASURE |
| Dark Blue | TREE PRESERVATION/REVEGETATION |
| Light Green | ACTIVE RECREATIONAL AREA |
| Medium Green | FLEXIBLE AREA |
| Yellow | DETACHED SINGLE-FAMILY LOTS |
| Orange | ATTACHED SINGLE-FAMILY LOTS |
| Red with diagonal lines | TYPE A BUFFER YARD (TO BE PLANTED OUTSIDE OF TREE PRESERVATION AREAS) |
| Pink with diagonal lines | TYPE B BUFFER YARD (TO BE PLANTED OUTSIDE OF TREE PRESERVATION AREAS) |
| Blue with diagonal lines | TYPE C BUFFER YARD (TO BE PLANTED OUTSIDE OF TREE PRESERVATION AREAS) |

Kimley Horn

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MASTER PLAN

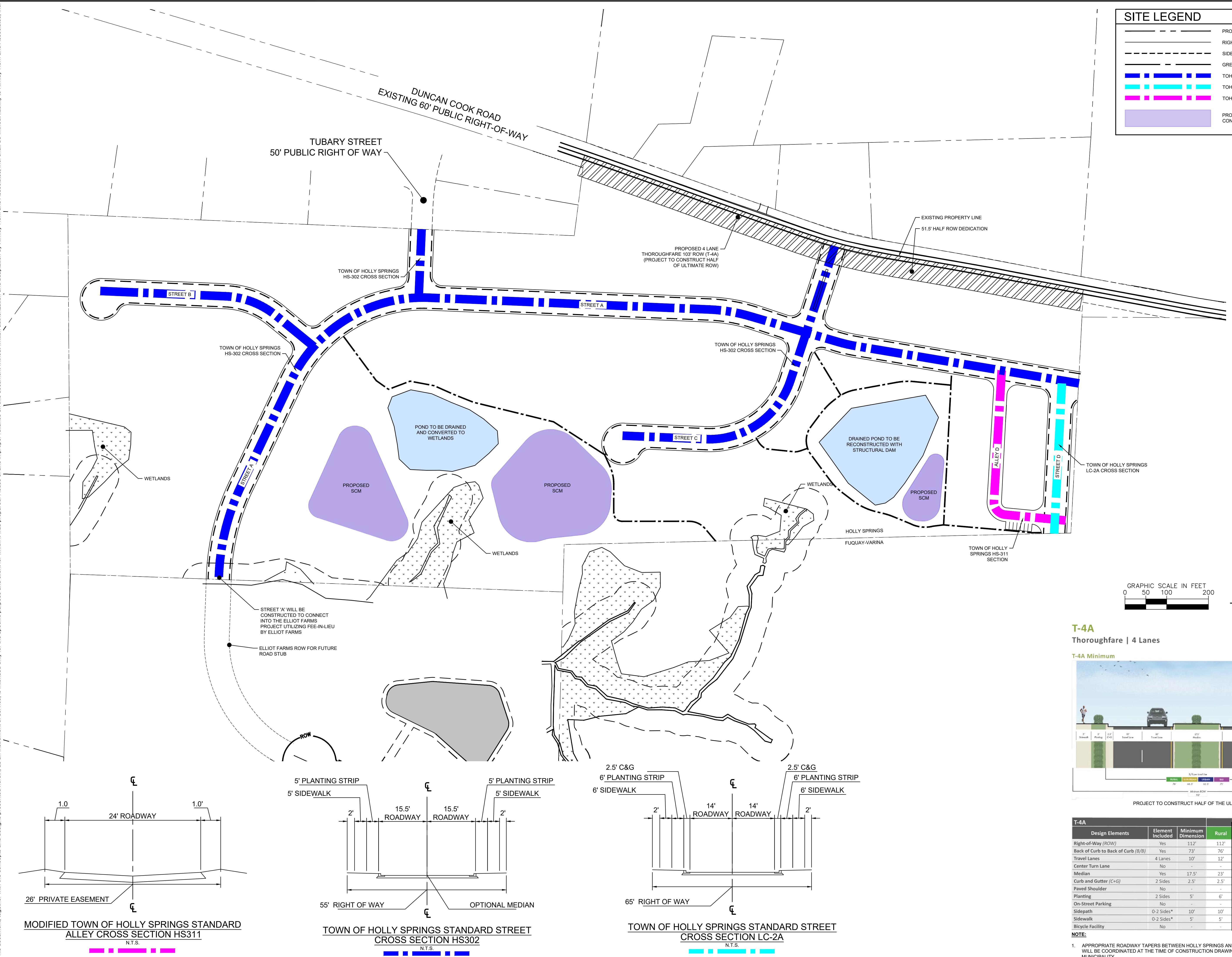
TWIN SPRINGS
PREPARED FOR
GANDER DEVELOPMENT, LLC

SHEET NUMBER
C3.0



NORTH
HOLLY SPRINGS

4 REVISIONS ACCORDING TO COMMENTS 12/19/2025 IG
3 REVISIONS ACCORDING TO COMMENTS 11/2/2025 JG
2 REVISIONS ACCORDING TO COMMENTS 10/17/2025 JG
1 REVISIONS ACCORDING TO COMMENTS 9/2/2025 JG
No. REVISIONS



| SITE LEGEND | |
|-------------------------------------|------------|
| PROPERTY LINE | 12/19/2025 |
| RIGHT-OF-WAY | 11/2/2025 |
| SIDEWALK | 10/17/2025 |
| GREENWAY TRAIL | 9/2/2025 |
| TOHS HS-302 CROSS SECTION | 1/1/2026 |
| TOHS LC-2A (SUBURBAN) CROSS SECTION | 1/1/2026 |
| TOHS 25' ALLEY | 1/1/2026 |
| PROPOSED STORMWATER CONTROL MEASURE | 1/1/2026 |

| REVISIONS ACCORDING TO COMMENTS | 12/19/2025 |
|------------------------------------|------------|
| 3. REVISIONS ACCORDING TO COMMENTS | 11/2/2025 |
| 2. REVISIONS ACCORDING TO COMMENTS | 10/17/2025 |
| 1. REVISIONS ACCORDING TO COMMENTS | 9/2/2025 |
| REVISIONS | Date |

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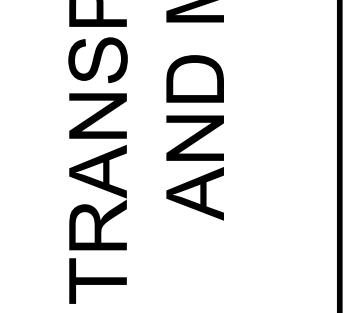
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1070 SOUTH MAIN STREET, SUITE 230, HOLLY SPRINGS, NC 27540

TWIN SPRINGS TRANSPORTATION AND MOBILITY

PREPARED FOR
GANDER DEVELOPMENT, LLC

HOLLY SPRINGS, N.C.

North Carolina Seal
051183
THE GREAT SEAL OF THE STATE OF NORTH CAROLINA
1776



| T-4A | | Urban Character Area | | |
|--|------------------|----------------------|-------|----------|
| Design Elements | Element Included | Minimum Dimension | Rural | Suburban |
| Right-of-Way (ROW) | Yes | 112' | 103' | 107' |
| Back of Curb to Back of Curb (B/B) | Yes | 73' | 76' | 66.5' |
| Travel Lanes | 4 Lanes | 10' | 12' | 11' |
| Center Turn Lane | No | - | - | - |
| Median | Yes | 17.5' | 23' | 17.5' |
| Curb and Gutter (C&G) | 2 Sides | 2.5' | 2.5' | 2.5' |
| Paved Shoulder | No | - | - | - |
| Planting | 2 Sides | 5' | 6' | 8' |
| On-Street Parking | No | - | - | - |
| Sidepath | 0-2 Sides* | 10' | 10' | 10' |
| Bicycle Facility | No | - | - | - |
| NOTE: | | | | |
| 1. APPROPRIATE ROADWAY TAPERS BETWEEN HOLLY SPRINGS AND FUQUAY-VARINA WILL BE COORDINATED AT THE TIME OF CONSTRUCTION DRAWINGS WITH EACH MUNICIPALITY. | | | | |

SHEET NUMBER
C4.0



| | |
|---|--|
| Kimley-Horn | |
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| | |
| KHA PROJECT 014702002 DATE 12/19/2025 SCALE AS SHOWN DESIGNED BY RCZ DRAWN BY JTG CHECKED BY RCZ | |
| TWIN SPRINGS OVERALL UTILITY PLAN PREPARED FOR GANDER DEVELOPMENT, LLC N.C. SHEET NUMBER C5.0 | |
| 0 GRAPHIC SCALE IN FEET | |
| | |

0 OVERALL GRADING AND DRAINAGE PLAN.dwg
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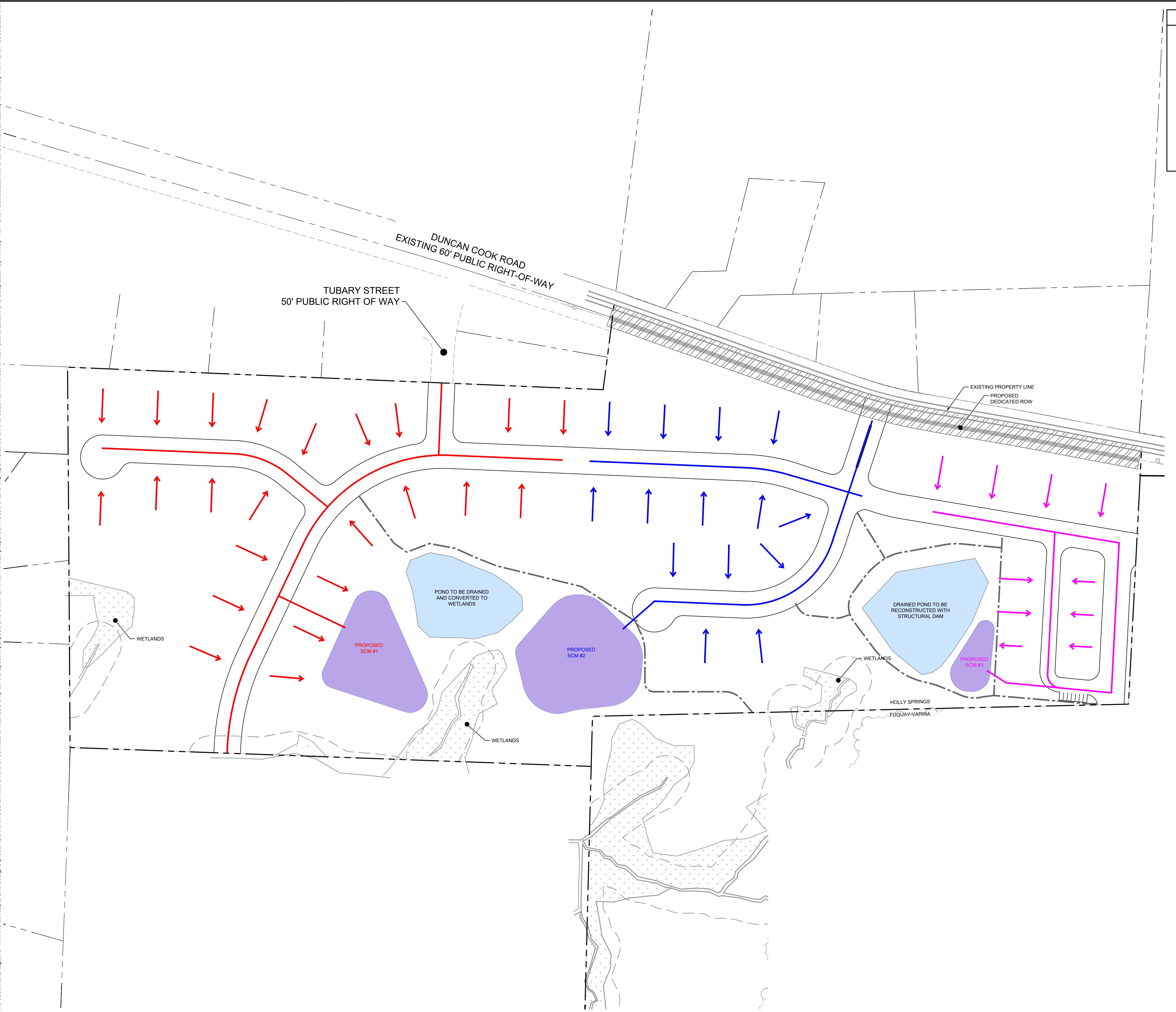
7_CAD Files\Holly Springs Rezoning\PlanSheets\C5

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E PLAN December 17, 2025 02:59:32pm

layout:OVERALL GRADING AND DRAINAGE

Submitted By: Guthrie, Jake Sheet Set:PUT NAME HERE L



GRADING AND DRAINAGE LEGEND

PROPERTY LINE

STORM DRAINAGE #1

STORM DRAINAGE #2

STORM DRAINAGE #3

EXISTING WETLAND

EXISTING POND

STORMWATER CONTROL MEASURE

FLOW ARROW

| REVISIONS | DATE | BY |
|---------------------------|------------|----|
| DNS ACCORDING TO COMMENTS | 12/19/2025 | JG |
| DNS ACCORDING TO COMMENTS | 11/21/2025 | JG |
| DNS ACCORDING TO COMMENTS | 10/17/2025 | JG |
| DNS ACCORDING TO COMMENTS | 9/2/2025 | JG |

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OVERALL GRADING AND DRAINAGE PLAN

TWIN SPRINGS

GAN
HOLLY SPRINGS
SHEET NUMBER
C6.0



| Open Space Requirements | |
|---|-------------|
| Total Required Open Space (30%) | 12.78 Acres |
| Tree Preservation/Revegetation Required (20%) | 8.52 Acres |
| Active Recreation Area Required (5%) | 2.13 Acres |
| Flexible Area Required (5%) | 2.13 Acres |
| Total Provided Open Space (37.5%) | 13.5 Acres |
| Tree Preservation/Revegetation (20%) | 8.52 Acres |
| Active Recreation Area (5%) | 2.55 Acres |
| Total Flexible Area (5%) | 4.90 Acres |
| Tree Preservation | 2.34 Acres |
| Active Recreation | 2.56 Acres |

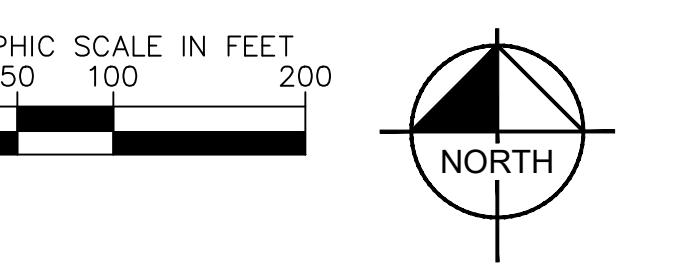
TWIN SPRINGS LANDSCAPE AND OPEN SPACE PLAN

PREPARED FOR
GANDER DEVELOPMENT, LLC
N.C.
SHEET NUMBER
L1.0

Kimley » **Horn**

| | | | |
|-----|---------------------------------|------------|----|
| 4 | REVISIONS ACCORDING TO COMMENTS | 12/19/2025 | IG |
| 3 | REVISIONS ACCORDING TO COMMENTS | 11/2/2025 | JG |
| 2 | REVISIONS ACCORDING TO COMMENTS | 10/17/2025 | JG |
| 1 | REVISIONS ACCORDING TO COMMENTS | 9/2/2025 | JG |
| No. | REVISIONS | Date | By |

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#F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2200 FAX: 919-677-2050
1070 SOUTH MAIN STREET, SUITE 230, HOLLY SPRINGS, NC 27540



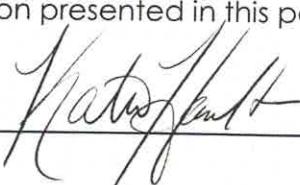


REZONING PETITION

Rezoning, Comprehensive Plan Amendment, UDO Amendment
DPM Appendix #A.02 Supplement 20 September 2024

| PETITION TYPE – each request must be a separate application in the Portal | |
|--|--|
| <input type="checkbox"/> | Zoning Map Change – General Use District |
| <input checked="" type="checkbox"/> | Zoning Map Change – Conditional Zoning District <input type="checkbox"/> Option 1 Plan: Development Plan or Subdivision Plan (Preliminary Plat) <input checked="" type="checkbox"/> Option 2 Plan: Master Plan |
| <input type="checkbox"/> | Comprehensive Plan Amendment <input type="checkbox"/> Text Amendment <input type="checkbox"/> Future Land Use Map Amendment <input type="checkbox"/> Small Area Plan Map Amendment |
| <input type="checkbox"/> | UDO Text Amendment – UDO Section: |

| PROJECT INFORMATION | |
|---|---|
| Project Name | Twin Springs |
| Project Location Use street address. If none, use closest intersection | 5800 & 0 Duncan Cook Road <input type="checkbox"/> Within Corporate Limits <input checked="" type="checkbox"/> Within Holly Springs ETJ <input type="checkbox"/> Pending Annexation |
| PIN(s) | 0646474950; 0646485396 |
| Real Estate ID | 0014601; 0449235 |
| Project Acreage | 43.09 AC |
| Current Zoning | RR: Rural Residential |
| Proposed Zoning | NR CD: Neighborhood Residential Conditional District |
| Current Future Land Use Designation | Mixed Residential neighborhood |
| Proposed Future Land Use Designation | Mixed Residential neighborhood |
| Small Area Plan Designation (if applicable) | NA |
| Special Study Scoping Meeting Dates | Sewer Scoping meeting - June 19, 2025; Traffic Scoping meeting - 6/17/2025 |
| Sketch Plan Review (pre-submittal) Meeting Date: | General inquiry meeting - November 20, 2024; Sketch Plan Review - July 17, 2025 |
| Neighborhood Meeting Date: | July 9, 2025 |

| CERTIFICATE OF COMPLETION | |
|---|---|
| I certify that all information presented in this petition is accurate to the best of my knowledge and belief. | |
| Signature of Applicant: |  |
| | Date: 7/12/25 |



REZONING PETITION

Rezoning, Comprehensive Plan Amendment, UDO Amendment
DPM Appendix #A.02 Supplement 20 September 2024

| PETITION CONTACT INFORMATION (Attach additional sheets if needed) | |
|--|--|
| Applicant and Financially Responsible Party will need to register for an account on the Portal. | |
| Project Applicant | Check One: <input type="checkbox"/> Owner <input type="checkbox"/> Owner's Agent <input checked="" type="checkbox"/> Design Professional <input type="checkbox"/> Developer <input type="checkbox"/> Other |
| Name: Bob Zumwalt | Company: Kimley-Horn |
| Mailing Address: 1070 S. Main Street, Suite 230 | |
| City, State, Zip: Holly Springs, NC 27540 | |
| Telephone: 919-475-7314 | E-Mail: bob.zumwalt@kimley-horn.com |
| Design Professional | |
| Name: Same as Applicant | Company: |
| Mailing Address: | |
| City, State, Zip: | |
| Telephone: | E-Mail: |
| Developer | |
| Name: Katie Hamilton | Company: Gander Development, LLC |
| Mailing Address: 2310 South Miami Blvd. Suite 234 | |
| City, State, Zip: Durham, NC 27703 | |
| Telephone: 704-796-6002 | E-Mail: katie@ganderdev.com |
| Architect | |
| Name: NA | Company: |
| Mailing Address: | |
| City, State, Zip: | |
| Telephone: | E-Mail: |
| Landscape Architect | |
| Name: Bob Zumwalt | Company: Kimley-Horn |
| Mailing Address: 300 S. Main Street, Suite 230 | |
| City, State, Zip: Holly Springs, NC 27540 | |
| Telephone: 919-475-7314 | E-Mail: bob.zumwalt@kimley-horn.com |
| Financially Responsible Party (REQUIRED) | |
| Name: Katie Hamilton | Company: Gander Development, LLC |
| Mailing Address: 2310 South Miami Blvd. Suite 234 | |
| City, State, Zip: Durham, NC 27703 | |
| Telephone: 704-796-6002 | E-Mail: katie@ganderdev.com |
| Property Owner (REQUIRED) | |
| Name: Duncan Cook Holdings LLC | Company: Duncan Cook Holdings LLC |
| Mailing Address: 2310 South Miami Blvd. Suite 238 | |
| City, State, Zip: Durham, NC 27703 | |
| Telephone: | E-Mail: |